

ROTORUA DISTRICT COUNCIL

BUILDING APPLICATION FORM

Received

File Number 654/643

Application No. 5620

Date 14.5.1987

I hereby apply for permission to erect, repair, alter, extend a building at No. 1

Isobel St, Rotorua (Address) for

Mr/Mrs T. Whare & P. Marina (Owner) of 47 Koutu Rd, Rotorua (Address)

according to locality plan and detailed plans, elevations, cross sections, and specification of building deposited herewith in DUPLICATE (see reverse side).

PARTICULARS OF LAND

Lot No. 15 Zoning

Area: 347 m² D.P. No. 34348

NUMBER OF SANITARY FITTINGS

Toilet Pans 1

Urinals N/A

PARTICULARS OF USE OF BUILDINGS

Proposed purpose for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose, i.e., shop, factory, dwelling, office, carport, etc.)

USE & Dwelling

Area of ground floor 75.04

Gross floor area

Area of accessory buildings

Estimated value:

Building work \$ 39000

Plumbing & Drainage \$ 1000

Total \$ 40000

Builder's name Keith Hay Homes (Please Print)

Signature of Applicant Keri Beaver

Address 284 Te Ngae Rd, Rotorua

Address 284 Te Ngae Rd, Rotorua

Phone No. 59184

Phone No. 39184

FOR OFFICE USE ONLY

Application checked and approved by:

Building Inspector

Date

Town Planning Officer

Date 18-5-87

Plumbing & Drainage Insp. Roy B.

Date 19-5-87

Structural Engineer

Date

Health Inspector

Date

Dangerous Goods Inspector

Date

Geothermal Inspector

Date

General Inspector

Date 18/5/87

Issue of Permit Approved

Engineer

Date 19-5-87

SUBJECT	APPLN No.	PERMIT No.	DATE	VALUE	FEE
Building		9058027	319694	\$ 39000	\$ 204-60
Plumbing			695	\$ 610.00	\$ 68-20
Drainage				\$ 400.00	\$ 48-40
Water Connection			697	\$	\$ 137-50
Damage Deposit - G.S.T. does not apply			698	\$	\$ 100-00
Vehicle Crossing - G.S.T. does not apply			699	\$	\$ 50-00
Sewer Connection				\$	\$
Building Research Levy			700	\$	\$ 44-00
Development Contribution				\$	\$

Date 9.6.87

ALL FEES G.S.T. INCLUSIVE UNLESS OTHERWISE NOTED.

TOTAL: \$ 652.70

Receipt No.

NOTE: G.S.T. applies to fees payable on or after 1 October, 1986.

FEES PAYABLE ON THE ISSUE OF ANY BUILDING PERMIT

according to the Estimated Value of Work

Estimated Value of Work		Fees	G.S.T.	Total
Not exceeding \$800	—	\$15.00	\$1.50	\$16.50
Over \$800 and not exceeding \$1,600	\$1,600 —	\$20.00	\$2.00	\$22.00
Over \$1,600 and not exceeding \$1,800	\$1,800 —	\$25.00	\$2.50	\$27.50
Over \$1,800 and not exceeding \$2,000	\$2,000 —	\$27.00	\$2.70	\$29.70
Over \$2,000 and not exceeding \$2,500	\$2,500 —	\$30.00	\$3.00	\$33.00
Over \$2,500 and not exceeding \$3,000	\$3,000 —	\$33.00	\$3.30	\$36.30
Over \$3,000 and not exceeding \$3,500	\$3,500 —	\$36.00	\$3.60	\$39.60
Over \$3,500 and not exceeding \$4,000	\$4,000 —	\$39.00	\$3.90	\$42.90
Over \$4,000 and not exceeding \$5,000	\$5,000 —	\$43.00	\$4.30	\$47.30
Over \$5,000 and not exceeding \$6,000	\$6,000 —	\$47.00	\$4.70	\$51.70
Over \$6,000 and not exceeding \$7,000	\$7,000 —	\$52.00	\$5.20	\$57.20
Over \$7,000 and not exceeding \$8,000	\$8,000 —	\$57.00	\$5.70	\$62.70
Over \$8,000 and not exceeding \$9,000	\$9,000 —	\$62.00	\$6.20	\$68.20
Over \$9,000 and not exceeding \$10,000	\$10,000 —	\$67.00	\$6.70	\$73.70
Over \$10,000 and not exceeding \$12,000	\$12,000 —	\$72.00	\$7.20	\$79.20
Over \$12,000 and not exceeding \$14,000	\$14,000 —	\$78.00	\$7.80	\$85.80
Over \$14,000 and not exceeding \$16,000	\$16,000 —	\$85.00	\$8.50	\$93.50
Over \$16,000 and not exceeding \$18,000	\$18,000 —	\$95.00	\$9.50	\$104.50
Over \$18,000 and not exceeding \$20,000	\$20,000 —	\$104.00	\$10.40	\$114.40
Over \$20,000 and not exceeding \$25,000	\$25,000 —	\$124.00	\$12.40	\$136.40
Over \$25,000 and not exceeding \$30,000	\$30,000 —	\$145.00	\$14.50	\$159.50
Over \$30,000 and not exceeding \$35,000	\$35,000 —	\$165.00	\$16.50	\$181.50
Over \$35,000 and not exceeding \$40,000	\$40,000 —	\$186.00	\$18.60	\$204.60
Over \$40,000 and not exceeding \$50,000	\$50,000 —	\$214.00	\$21.40	\$235.40
Over \$50,000 and not exceeding \$60,000	\$60,000 —	\$241.00	\$24.10	\$265.10
Over \$60,000 and not exceeding \$70,000	\$70,000 —	\$269.00	\$26.90	\$295.90
Over \$70,000 and not exceeding \$80,000	\$80,000 —	\$296.00	\$29.60	\$325.60
Over \$80,000 and not exceeding \$90,000	\$90,000 —	\$324.00	\$32.40	\$356.40
Over \$90,000 and not exceeding \$100,000	\$100,000 —	\$351.00	\$35.10	\$386.10
Over \$100,000 and not exceeding \$120,000	\$120,000 —	\$379.00	\$37.90	\$416.90
Over \$120,000 and not exceeding \$140,000	\$140,000 —	\$406.00	\$40.60	\$446.60
Over \$140,000 and not exceeding \$160,000	\$160,000 —	\$434.00	\$43.40	\$477.40
Over \$160,000 and not exceeding \$180,000	\$180,000 —	\$461.00	\$46.10	\$507.10
Over \$180,000 and not exceeding \$200,000	\$200,000 —	\$489.00	\$48.90	\$537.90
Over \$200,000 and not exceeding \$240,000	\$240,000 —	\$544.00	\$54.40	\$598.40
Over \$240,000 and not exceeding \$280,000	\$280,000 —	\$599.00	\$59.90	\$658.90
For every \$40,000 or part thereof in excess of \$280,000 an additional fee of	—	\$28.00	plus \$2.80 G.S.T.	

NOTE—The permit fee for the installation of free-standing fire places, pot belly stoves, or log fires is ~~\$12.00~~ \$12.00 plus G.S.T.

BUILDING RESEARCH LEVY — TO WHICH G.S.T. IS TO BE ADDED

A building research levy based upon \$1 per \$1,000 or part thereof of total permit value requires to be paid. Permits of a lesser value than \$10,000 are exempt from this levy.

IMPORTANT

PLANS AND SPECIFICATIONS

All builders should be conversant with the Building Bylaws wherein the requirements regarding drawings are stipulated.

Any applications not complying will not be accepted.

It is an offence to start building work before a permit is issued.

All plans must be drawn in metric to scale.

SITING OF BUILDINGS

It shall be the responsibility of the Owner of the land and the Builder to ensure that siting of all buildings conforms with the requirements of the District Planning Scheme and the Building Bylaws.

DAMAGE DEPOSIT

The amount of the damage deposit referred to overleaf is necessary to ensure that the value of any damage that is caused to public property during construction operations is recovered from the main contractor, or applicant, as the case may be. The amount is to be regarded purely as a deposit and will be refunded or adjusted upon application at the completion of the work.

SEWER CONNECTIONS

Applicants are reminded of their responsibility to have regard to the levels of Council's drainage services before construction of a building commences. Service levels can be obtained from the District Engineer's Office, Depot Street. Failure to do so may result in plumbing alterations or pumping being required.

DEVELOPMENT CONTRIBUTIONS

If you are contemplating a residential development which comprises 3 or more new units, or 2 or more additional units, or an industrial or commercial development, the value of which exceeds \$100,000, you will be liable to make a development contribution to the Rotorua District Council. If your proposal comes within this levy you are advised to contact the District Town Planning Department for further information.

Inspector: M

File No.

Receipt No. 379694

Date Permit Issued 10/6/87

OWNER

Name T Whare & P Marino

Mailing Address 47 Koutu Rd
Rotorua

BUILDER

Name Kerth Hay Homes

Mailing Address 284 Te Ngae Rd
Rotorua

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE

Street No. 1

Street Name Isobel St

Town/District Rotorua

Riding

LEGAL DESCRIPTION

Valuation Roll No. 6541643

Lot 15 D.P. 34348

Section Block

Survey District

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

dwg

1wc

FLOOR AREA

DWELLING UNITS

Whole
Sq. Metres75.4 m²Number
ErectedESTIMATED
VALUES
\$Building
Plumbing
Drainage
TOTAL39,000
1,000
40,000

NATURE OF PERMIT (TICK BOX)



NEW BUILDING

- exclude domestic garages and domestic outbuildings



FOUNDATIONS ONLY

ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED
- include installation of heating appliancesNEW CONSTRUCTION
OTHER THAN BUILDINGS - include demolitionsDOMESTIC GARAGES
AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit \$ 156
Street Damage Deposit \$ 100
Building Research Levy \$ 40
Plumbing \$ 62
Drainage \$ 44
Sewer Connection \$Water Connection \$ 125
Vehicle Crossing Levy \$ 50
M.S. Plumbing \$
CIST \$ 4570
TOTAL: \$ 65270

Receipt No. 379694

Date of Payment 9/6/87

Authorised Officer

Special Conditions:

Date Inspected

REMARKS (e.g. stage reached with work)

27.5.87

preline at K. Hays yard passed inspection C.A.

23.6.87

9AM footing inspection not ready house still
on trailer advised will call back 11AM

Date Inspected

23-6-87

Inspection 11-05 solid bearing anchor plate
Permission to pour
transported from yard.

COMPLETED (Signature)



Date

18.18.87

Keith Hay Homes
284 Te Ngae Rd
Rot.

File No. 654/643
Appn. No. 5620

IRLAAP

Dear Sir

PROPOSED *dwg* LOT 15 SEC BLOCK DPS 34348
NO. 1 STREET *Isobel St*

Receipt of your application for the above is acknowledged. Perusal of the plans and specifications has raised the following points which are hereby drawn to your attention

1.

Health

*Please provide details of
the testing appliance.*

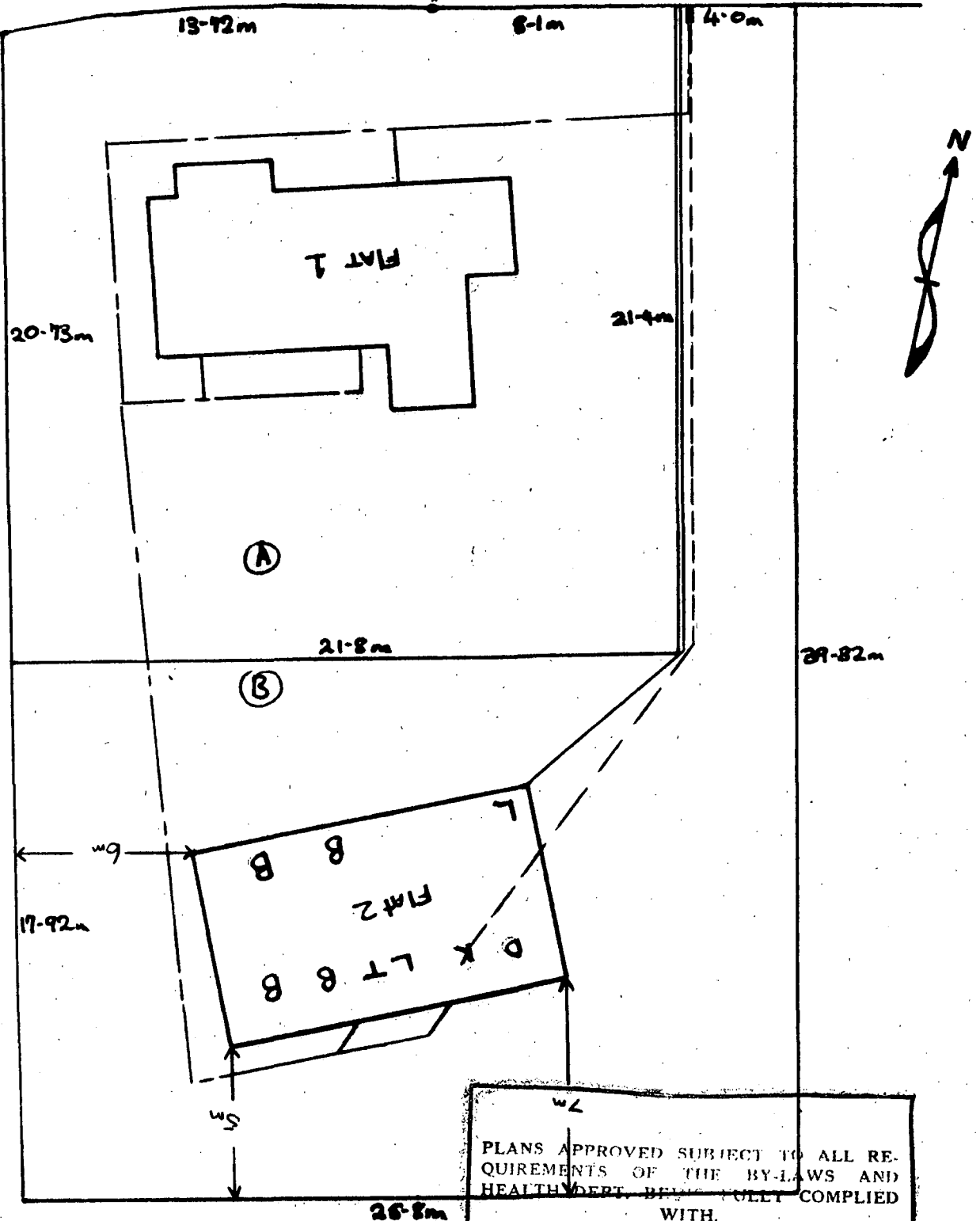
*See clause 6.05 of
specification*

Receipt of your advice in respect of the above matters will enable your application to be more fully considered.

Yours faithfully

D.J. McArtney
SENIOR BUILDING INSPECTOR

ISABEL Street.



Lot 15
DP 34348

PLANS APPROVED SUBJECT TO ALL RE-
QUIREMENTS OF THE BY-LAWS AND
HEALTH DEPT. BEING FULLY COMPLIED
WITH.

Date 9.6.87 Permit Number E058027

Inspector DM dh

Signed: p.p. CONTRACTOR Signed: EMPLOYER

SCALE 1: 200

AREA: 547m² m²

DRAWN: 98

NAME: P.T. MARINO & T. WHARE

KEITH MAY HOMES LIMITED

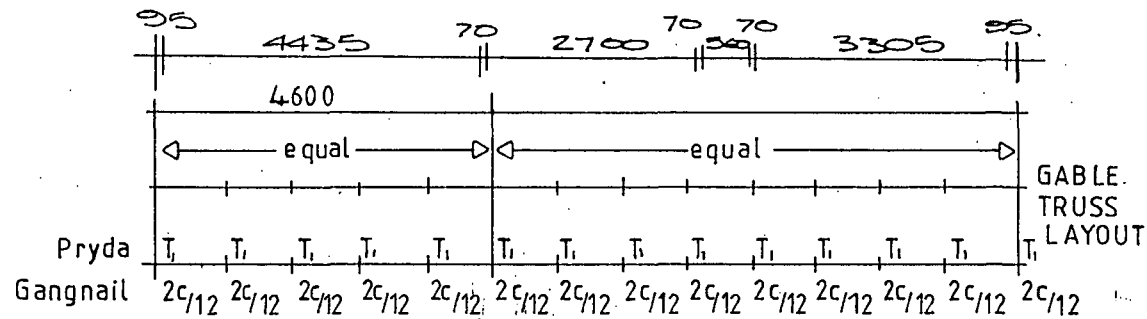
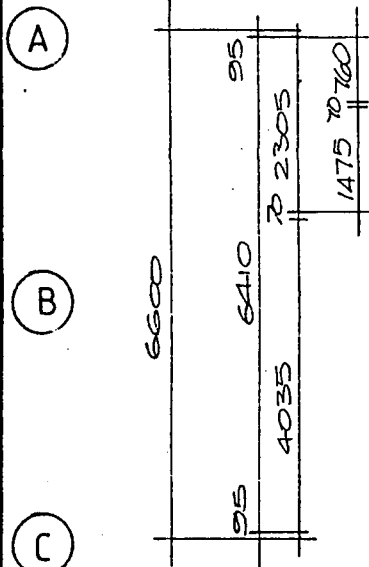
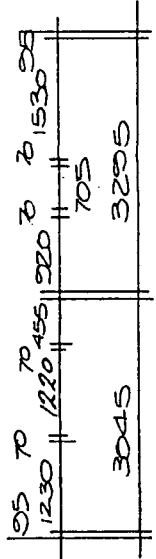
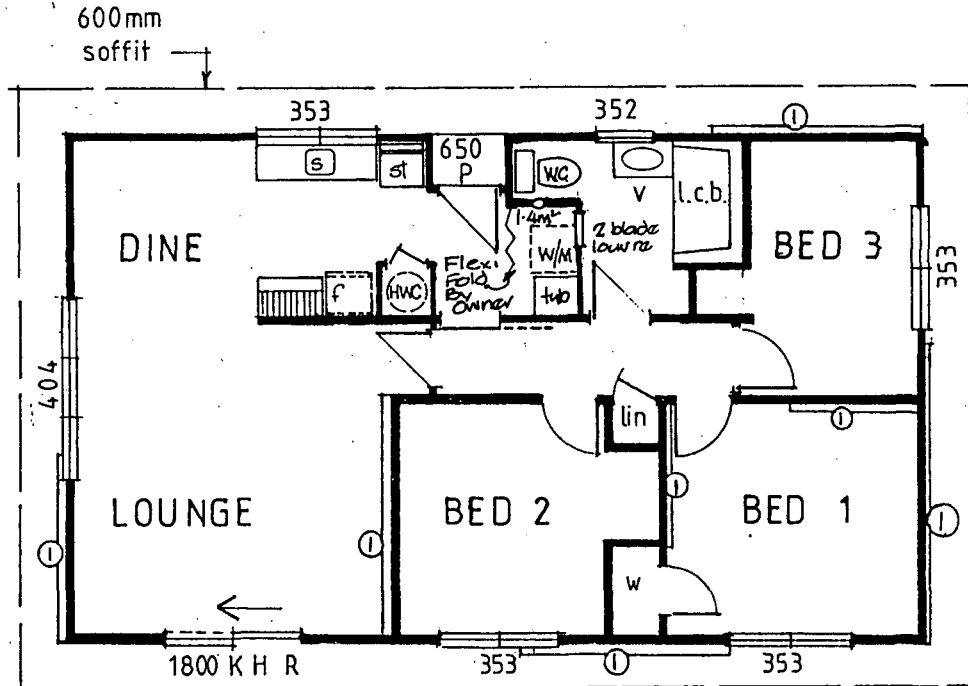
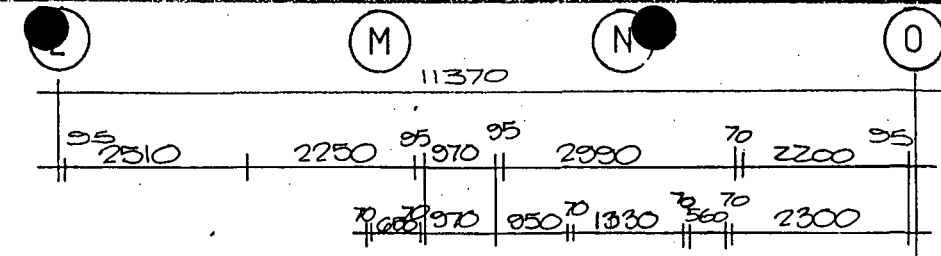
COPYRIGHT 198

DESIGNED TO N.Z.S. 3804

DATE: 27/11/86

PLAN REF. 30/283

NB ALL KITCHEN UNITS BASED
ON A 400mm MODULE



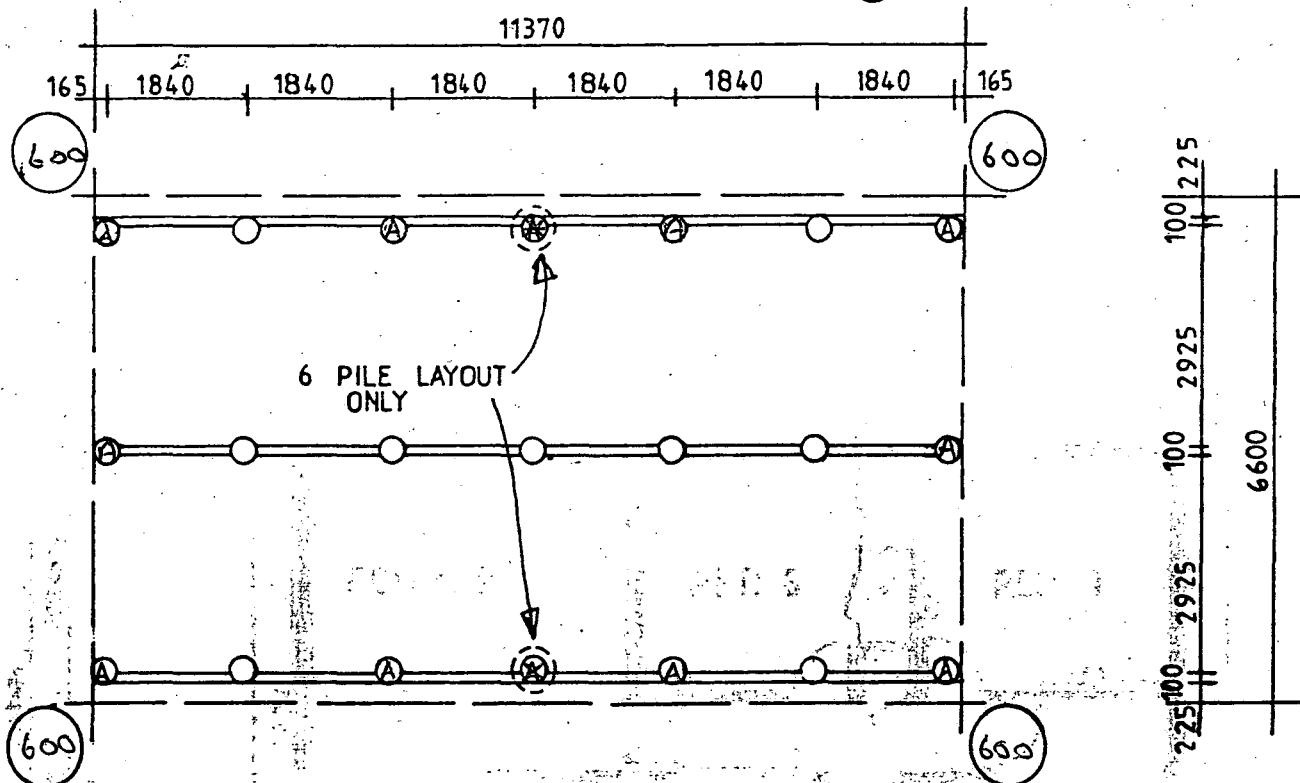
PRYDA DESIGN
CERT NO. 1835
T₁ - std
GANGNAIL DESIGN
CERT NO. 9753
2c/12 - std

SR3

Signed: p.p. CONTRACTOR
Signed: EMPLOYER
SCALE 1:
AREA: 75.04 m²
DRAWN:
NAME:
DATE: 11/12/80
PLAN REF

Signed: P.P. CONTRACTOR		Signed EMPLOYER	
SCALE 1:	AREA	DATE	DRAWN
KEITH MAY HOMES LIMITED		NAME: Wayne - Marcus	
COMPONENT 100	DESIGNED TO N.Z.S. 3904	DATE: 30/6/80	PLAN REF.

SR3



SUB-FLOOR BRACING LINE LAYOUT FOR ANCHOR PILES UP TO 820 MAX HEIGHT (GROUND TO FLOOR)

EARTHQUAKE ZONE _____ WIND AREA _____ NOTE: All levels to underside of floor (Not underside of bearer)

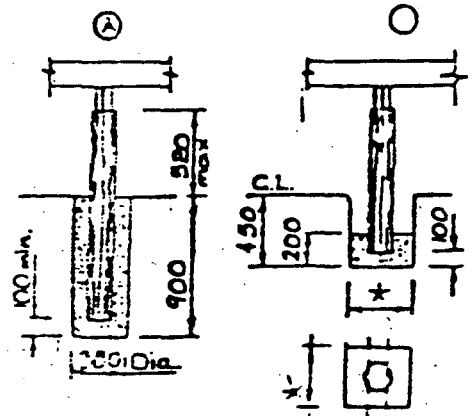
Joists 150 x 50 continuous @ _____ Cantilever joists 225 to sides

Solid blocking between each pair of joists @ 1800 over bearer

Bearers may be cantilevered up to 300mm

ANCHOR PILE ORDINARY PILE

- ENGINEERS DESIGN COVERS
1. Bearers composite 2/150 x 50 continuous over 2 or more spans up to 2000mm.
 2. Footing sizes--Standard Design: all 380mm (X)



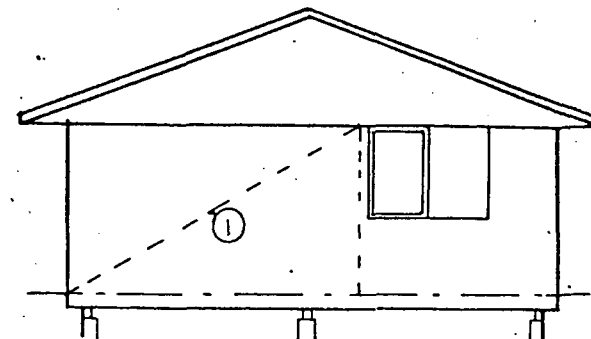
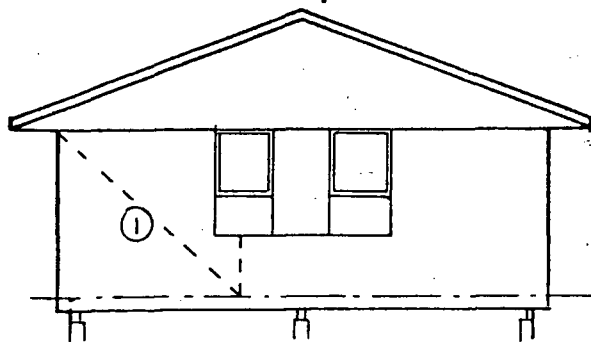
BRANZ PAPER NO S(1984)
FOUNDATION DESIGN

NQE Diaphragm Floor System

EARTHQUAKE Table One		WIND AREA Table Five	
A	6	H	6
B	4	M	4
C	4	L	4

Signed: p.p. CONTRACTOR		Signed: EMPLOYER	
SCALE 1:	AREA:	no	NAME:
KEITH HAY HOMES LIMITED	COPYRIGHT 1981 DESIGNED TO N.Z.S. 3604	DATE: 11/12/86	PLAN REF.

SR3



END ELEVATION
FIBREGLASS INSULATION
TO CEILING ($1.9 \text{ m}^2 \cdot ^\circ\text{C/W}$
-TYPE A).

END ELEVATION
20° PITCH ROOF

TRUSSES @ 900%

600mm SOFFIT

FIBREGLASS INSULATION
TO EXTERIOR WALLS.
($1.5 \text{ m}^2 \cdot ^\circ\text{C/W}$)

150 x 50 JOISTS @ 450%

DOUBLE SIDED SISALATION
421 UNDER FLOOR
($1.9 \text{ m}^2 \cdot ^\circ\text{C/W}$)

2400

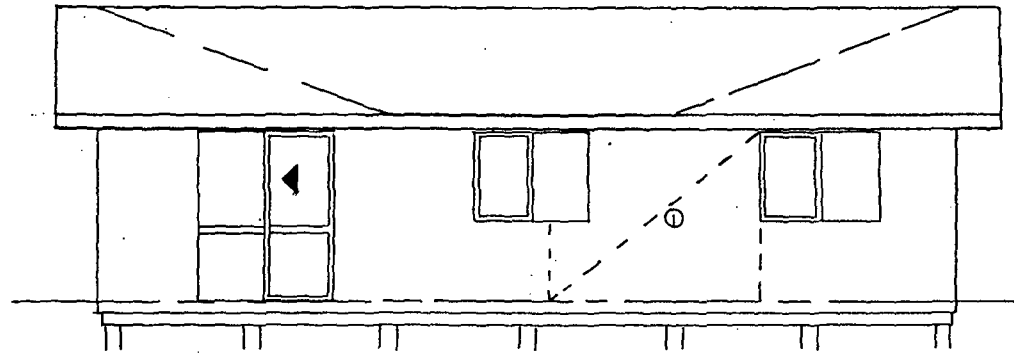
20mm HIGH DENSITY
PARTICLE BOARD FLOOR.

225mm CANTILEVER TO
SIDES.

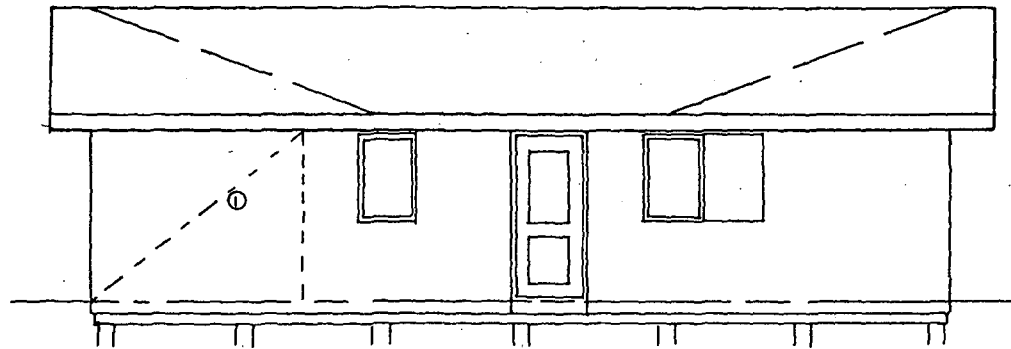
140 s.e.d. Timber
Ordinary pile

140 s.e.d. Timber
Anchor Piles

NOTE: Foundations as per
attached sub-floor plan



FRONT ELEVATION



REAR ELEVATION

SR 3

Signed: P.P. CONTRACTOR

Signed: EMPLOYER

SCALE 1:

AREA:

m²

DRAWN:

NAME:

KEITH MAY MORRIS LIMITED

CONTRACT NO.

DESIGNED TO S.D. 2000

Date: 11/10/10

11/12/86

SR 3

Total B.U.'s
Required

	ALONG
REQ. E QUAKE A	196
REQ. WIND H	238
CALCULATED TOT	307

EARTHQUAKE DESIGN(CIRCLE)			
STOREY- <u>single</u> / lower of 2			
LIGHT ROOF- 0°, 15°, <u>20°</u> , 45°			
EQ = BU's/m ² 12.57 7.8			
GROSS ROOF AREA 98 m ²			
X Ae	2	BU= 196	BU's
X Be	2	BU=	BU's
X Ce	2	BU=	BU's

WIND DESIGN(CIRCLE)			
STOREY- <u>single</u> / lower of 2			
LIGHT ROOF 0°, 15°, <u>20°</u> , 45°			
ALONG	L	M	H
STOREY 2.4max	9	12	18
ROOF 0.9	9	12	18
BU's ADDED	18	24	36
WIND= BU's/m	X	X	X
WALL LENGTH or			6.6
ALONG TOTAL			238

ACROSS	L	M	H
STOREY 2.4max	9	12	18
ROOF 1.6	12	15	23
BU's ADDED	21	27	41
WIND=BU's/m	X	X	X
WALL LENGTH or			11.37
ACROSS TOTAL			466

	ACROSS
REQ. E'QUAKE A	196
REQ. WIND H	466
CALCULATED TOT	468

Wall Bracing Elements Provided

Minimum B.U.'s Required	Label No.	Type	Rating B.U.'s/m	Length (m)	B.U.'s Provided
A	BED 3	1	42	2.8	118
114	Sub-total				118
B	BED 1	1	42	1.7	71
70	Sub-total				71
C	B1/B2	1	42	2.8	118
114	Sub-total				118
298	CALCULATED TOTAL				307
L	LOUNGE	1	42	2.4	100
66	Sub-total				100
M	LOUNGE	1	42	3.1	130
70	Sub-total				130
N	BED 1	1	42	1.8	75
70	Sub-total				75
O	B1/B3	1	42	3.9	163
66	Sub-total				163
P					
Q					
272	CALCULATED TOTAL				468

STANDARD

GENERAL SPECIFICATION

Of work done and materials used in the construction of "Pre-built" Buildings designed and built to conform with N.Z.S.3604 (1978) and N.Z.S.3602 (1975) Building Code Standards, by KEITH HAY HOMES LIMITED and/or KEITH HAY LIMITED and/or KEITH HAY BUILDERS LIMITED, Building Contractors.

PAGES 1 & 2 SPECIFY THOSE ITEMS THAT HAVE BEEN INCLUDED IN THE CONTRACT.

PAGES 3 TO 9 EXPAND ON THE ITEMS SPECIFIED IN PAGES 1 & 2 AND COVER GENERAL MATTERS.

- 1.00 GENERAL: Buildings are constructed to the true intent and meaning of these plans and specifications.
- All measurements on plans take precedence over scaled dimensions.
- 2.00 INSURANCES: The Contractor shall be wholly responsible for any loss or damage to the work and material covered by this contract until it is delivered to the site and on permanent foundations. The Contractor shall be responsible for all insurance charges for a "Builders Risk" Policy until the building and related site works have been completed, in accordance with the Contract, unless the building is occupied or alternative insurance is arranged by the Employer or his agent. This does not cover material supplied by or work done by the Employer or loss or damage resulting from material supplied by or work done by the Employer.

- 3.00 BUILDING PERMIT: Building Permit will be applied for by the Contractor and signed for on behalf of the Employer as owner. Refer to Contract Page 3 as to whether cost is included in Contract price. Any allowance made in the contract price to include Building Permit fee, Plumbing Permit fee, Drainage Permit fee and Building Research Levy. For shell building, Employer will be shown on Building Permit application as the Builder and the Contractor will act in capacity of subcontractor.

If any difficulties arise regarding Council Town Planning ordinances and Council by-laws then it will be the responsibility of the Employer to resolve these at his expense.

4.00 YARD CONSTRUCTION, CARPENTRY AND JOINERY.

- 4.01 BEARERS: Boric treated Pine composite 150 x 100 or 250 x 100 if shown on Plan to J. Reelick Engineer's design
- 4.02 FLOOR JOISTS: To be gauged on bearers to a uniform level and continuous over 2 or more spans.

Building Width	Joist Span	Cantilever	Joist Size	Centres
6030	2640	225	150 x 50	600
6600	2925	225	150 x 50	450
7200				

Joist cantilever bay windows: 750 maximum to Eng. Design.

FLOOR JOIST	Up to 1800	150 x 75 composite
TRIMMERS:	Over 1800 up to 2400	150 x 100 composite
	Trimming Joists	150 x 75 composite up to 1800
	Trimming Joists	150 x 100 composite up to 2400 or for large porches
	Fixing trimmers to joists - one Multigrip each end	
	4 nails each side of Multigrip up to 1800 span	
	6 nails each side of Multigrip up to 2400 span	

- 4.03 FLOORING: 20mm High Density Particle Board to BRANZ Appraisal Certificate No.23 fitted under plates and run under all partitions.

.....
For & Behalf of Contractors

.....
Employer

4.04 EXTERNAL FRAMING: STUDS: Boric treated Pine or Douglas Fir 2400 height max.

'H' wind zone 100 x 50 at 600mm centres maximum
'M' & 'L' wind zone 100 x 40 at 600mm centres maximum
Studs to raked ceilings - as per elevations.

BRACING: Securely braced as shown on Plans and bracing calculations sheets.

Type 1 Panel - Galvanised Steel brace with gib. board sheet
Type 8 Panel - 9.5mm Particle Board, 7.5mm Hardiflex or 7.5mm Weatherside Sheet
bracing to one side.
Type 10 Panel - Sheet bracing both sides.
Type 12 Panel - Gib. board sheet to both sides.

FIXING DOWN TYPE 8 PANEL: - End studs fixed to bottom plate with 2 Timlok staples and bottom plate fixed to floor joists to a securely nailed 100 x 50 dwang with coach screws as per J. Reelick Engineer's design as per 6.9.4.5 or with 3.78 KN 'Strapnails' as applicable.

LINTELS TO OPENINGS: - Boric treated pine or Douglas Fir

Up to 2150 clear span 200 x 50
Over 2150 to 3350 clear span - 200 x 100 composite
Over 3350 to 4150 clear span - 250 x 100 composite

Lintel spans in excess of table 16 to J. Reelick Engineer's Design. For 'H' wind zone only where lintel spans exceed 2700, secure lintel to doubling stud and stud to boundary joist using 25 x 1 M.S. Straps with 12/30 x 2.5 F.H. Nails per strap.

WINDOW SILL TRIMMERS: Up to 2450 - 100 x 50
Over 2450 up to 3650 - 100 x 100 composite

TRIMMING STUDS: Boric treated No.1 Pine or Douglas Fir

Up to 3050 clear span Double studs spiked together one supporting lintel.
Up to 3650 clear span - as for above plus one 100 x 25, well spiked.

DWANGS OR WALINGS TO EXTERIOR: 1 Row 75 x 25 walings checked into studs or 1 row 75 x 50 dwangs staggered, only in 'H' wind zones for 'sheet panel' sheathing.

4.05 INTERNAL FRAMING: STUDS: Boric Treated Pine or Douglas Fir studs 75 x 50 at 600mm centres maximum.

4.06 ROOF FRAMING: Constructed with a maximum 'S; Value 6.8m. Trusses and jack rafters securely nailed and bird mouthed over plates, as shown on plans constructed from the following:

TRUSSES: At 900mm centres maximum manufactured to Gangnail 9753 Design fixed with 2/100 x 3.75 nails and 2/Timloks per joint, OR Pryda 1835 Engineers.

RAFTERS: Boric Treated Pine or Douglas Fir, size and spacing as per Plan.

PURLINS: Boric Treated Pine or Douglas Fir 75 x 50 on edge or flat. Spacings to suit profiled iron manufacturers specification

ROOF TILE BATTENS: Boric Treated Pine or Douglas Fir 50 x 40

ROOF PLANE BRACING 4 per house or as shown on Plans - Metal angle braces from ridge to top plate at 45° alternatively 100 x 25 timber braces.

CEILING BATTENS: 50 x 40 at 400mm centres (Michaelangelo)
75 x 40 at 450mm centres (9.5 Gibraltar Board)

4.07 ROOF STYLE: Refer Page 1 and Plans.

4.08 LAMINATED BEAMS: As per Plan to N.Z.S.R. 34

4.09 BUILDING PAPER: Fitted to exterior of wall studs before sheathing.

4.10 EXTERIOR WALL SHEATHING: For type specified refer Page 1 and Plans.

Hardiplank Smooth 235mm wide - Hardiplank Woodgrain 245mm wide - Woodgrain Weatherside Panel.

Note: i) If more than one type exterior sheathing as above then locations of each material as per plans.
ii) All sheathing securely fixed as per manufacturers recommendations.
iii) Gable Ends: - Textured Panel or Flat Hardiflex.

- 4.11 SOFFIT: Boxed with 4.5mm Flat Fibrolite with P.V.C. Jointers, or as shown on plan.
- 4.12 WINDOWS: Aluminium windows to be manufactured in accordance with NZS4211. Sizes and openings as shown on Plan.
- 4.13 WINDOW SHUTTERS: Refer Page 1 and plans.
- 4.14 EXTERIOR DOORS: For type specified refer Page 1 and plans.
Front Door - Bronze aluminium 2 lt. or 8 panel timber.
Back Door - Bronze aluminium 2 lt. obscure (2135 x 810)
French Doors Tanalised pine as per plan, adjoining windows and sidelights to be timber.
Aluminium Sliders - manufactured to NZS 4211.
- 4.15 EXTERIOR FINISHING: Scribes 50 x 12 Tanalised Pine or silicone sealant.
Barge, Fascia, Frieze Board, 150 x 25 Tanalised Pine.
- 4.16 ROOF SHEATHING: Roofing as specified on Page 1 fitted to Manufacturers specification over approved underlay. All valleys and ridges galvanised iron or purpose made.
- 4.17 SPOUTING & DOWNPIPES: White P.V.C. Guttering and rainwater system - 80mm diameter circular section downpipes securely fixed extending down to floor level.
- 4.18 INSULATION: To comply with N.Z.S. 4218P - Fibreglass Batts to ceilings and exterior walls.
Double sided perforated foil to underfloor.
- 4.19 INT.WALL LININGS: Walls are covered 9.5mm Gibraltar Board fixed and stopped as per Winstones horizontal fixing method, complying with 2.3.1 and 9.1.4 suitable for wallpaper finish only
Basements/Attic Walls - no wall lining, unless specified on plans.
- 4.20 CEILINGS: All ceilings - Michaelangelo ceiling panels -
Wardrobes and Cupboard ceilings may be gibraltar board
Basements/Attic ceilings - no ceiling lining, unless specified on plans.
- 4.21 INTERIOR DOORS: All interior doors clean flush type hardboard either hung or sliding as shown on the plans.
To all main rooms 2305 x 760 To utility rooms 2305 x 760
Wardrobes, linen, H.W.C. etc. 2305 x 490, 610, 760.
- 4.22 INTERIOR MOULDINGS: Skirtings 60 x 10 bevelled. Architraves 35 x 10 sq. dressed
Scotia or Cornice 30 x 18 bevelled to 10.
All interior mouldings finger jointed pine suitable for painting only.
- INT. FIXTURES & FITTINGS: As per plan.
- 4.23 KITCHEN: Units completed in timber and customwood. Interiors unpainted.
Exterior carcass paint quality. Sizes as per plan.
Overlay doors either Paint quality or Mahogany Veneer or Pine Veneer to front face only (Refer Page 1).
SINK BENCH: Laminate in colour selected from Contractors standard range or
Stainless steel sink top (Refer page 1) with stainless steel bowl
central completed with plug, waste and taps.
FLAT PRESSINGS: Laminate with clashed edges.
PANTRY UNITS: Single 400 wide 2 door. Double 800 wide 4 door.
FRIDGE SPACE: Min. 1690 high by 685 wide.
SUNDRY ITEMS: Tea Towel rail - Pantry spice rack. - Under sink tidy.
- 4.24 BATHROOM: For units specified refer Page 1 and Plans.
STANDARD BATH: Almond Ivory perspex or fibreglass reinforced plastic with 2 taps
COMBINATION BATH/SHOWER: Almond Ivory fibreglass reinforced plastic complete
with chrome shower curtain rail, Felton Mix shower fitting and bath taps.
Unit 1530 x 1840 standing 1830 high:
BATH WITH SHOWER ABOVE: 1525 White perspex or fibreglass reinforced plastic
bath with 2 taps and Feltonmix shower fitting above with soap holder and
chrome shower curtain rail.
Walls to bath alcove lined with Seratone White.

SHOWER BOX: Stainless Steel Shower Base, wall lining 'Hardiglaze' Colour: Coral Complete with Felton-mix shower fitting, soap holder and Chrome shower curtain rail.

VANITY: 'Lady Caroline' Almond Ivory on brackets or on Unit. Formica or Laminex Vanity top complete with plug and waste and mixing spout faucet or taps. 760 or 1350 Prefinished unit with louvre doors.

HAND BASIN: Porcelain Handbasin on brackets complete with plug and waste with hot and cold taps.
Caroma 'Valet' wallmounted, complete with plug and waste with hot and cold taps.

SHAVING CABINET: Shaving cabinet, prefinished built-in with mirror and accessory shelves.

ACCESSORIES: Toothbrush holder, towel rail.

4.25 TOILET Water closet N.Z. made with terminal vent as required. "Caroma wallset" cistern Almond Ivory with matching toilet set.
"Caroma Diamond Lo-Line" water cistern White with flexible seat Almond Ivory.
Toilet roll holder.

4.26 LAUNDRY: Wash tub single 560 x 460, stainless steel, seam welded on wooden unit with single door, complete with plug and waste, hot and cold taps and soap holder.
Hot and cold taps suitable for automatic washing machine.
180 litre Low Pressure electric water cylinder including thermostat and 3000 watt or smaller element if limited by Power Board.
Cylinder located as per Plan complete with pressure reducing valve or 20mm vent piping.

4.27 HARDWARE: TOWEL RAIL.
FRONT & BACK DOORS: Schlage locking latches keyed alike.
SLIDING DOORS: Wooden Handles.
WINDOWS: As supplied by window manufacturer.
CUPBOARD DOORS: 45mm diameter convex wooden knobs.

HUNG DOORS: Wooden knobs with roller catches.
BATHROOM & TOILET: Fitted with privacy bolt.

4.28 MANHOLE: Positioned in passage or as decided by Contractor.

5.00 YARD CONSTRUCTION - PLUMBING

All plumbing work to be carried out by a registered contractor.

5.01 WATER PIPES: All hot and cold water runs in concealed 15mm (I.D.) Qest Dux Polybutylene pipe to point ready to be connected to mains supply.

5.02 TAPS: Taps or faucets fitted to fixtures in locations as specified elsewhere and one exterior hose tap fitted adjacent to back door. All inside taps chrome plated brass with Acrylic domes.

6.00: YARD CONSTRUCTION - ELECTRICAL

6.01: INTERIOR LIGHTS: PDL Bayonet light fittings, complete with bulb & switch (PDL 'Clipsal' white) earthed
EXTERIOR LIGHTS: 150mm ball fitting, complete with bulb & switch (PDL 'Clipsal' White) earthed
Normal light switch position approx. 1150mm above floor.

6.02 POWER POINTS: PDL 'Clipsal' White - normal position approx. 250mm above floor.

6.03 T.V. AERIAL CONNECTOR: Fitted adjacent to one power point in lounge with coaxial cable to roof area.
Note: Power point is included under 6.02.

6.04 STOVE: Refer Page 1.

6.05 CENTRAL HEATING: Install thermostatically controlled electric central heating units, Airea Heat Wall Model 2Kw.

6.06 METER BOX: Located in back porch or alternative outside position to be decided by Power Board.

6.07 MAIN SWITCH BOARD: Located in meter box.

6.08 SUB BOARD: To be positioned by Contractor (internal switching and fuse panel).

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For & Behalf of Contractor.

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Employer

7.00 YARD CONSTRUCTION - PAINTING

All painting to be carried out under strict supervision with first-grade materials. Exterior or interior colour schemes may be selected by the purchaser to a maximum of 4 exterior colours and 4 interior colours. Additional colours at an additional cost of \$30 per colour. Contractors standard paint and paper schedule selecting exterior and cupboard door colours to be completed before construction proceeds past "roof on" stage. N.B. Cupboard door stain classified as a colour.

7.01 EXT. PAINTING: ROOF unpainted

ALL EXTERIOR TIMBERS primed, then stopped with polyfilla to all nail holes, scribes and any defects. Then apply to all exposed woodwork one coat of approved undercoat followed by one coat of full gloss.

Where sashes or frames picked out in different colour, only outward facing surfaces to be in colour required.

FIBROLITE & HARDIFLEX Wall sheathing, soffit lining and gable ends to receive 2 coats of acrylic paint.

7.02 INT. PAINTING: CEILINGS. All rooms to receive undercoat applied by manufacturer and one coat of Acrylic Semi Gloss White.

MANHOLE & SCOTIA. To receive one undercoat and two coats Acrylic Semi Gloss White
WOODWORK. To receive two coats of approved undercoat followed by one coat of fullgloss
CUPBOARDS Inside unpainted. white.

CUPBOARD DOORS One coat sealer, one coat approved undercoat followed by one coat fullgloss. Where Mahogany doors specified "wipe on stain" to be wiped, brushed on and wiped off, and finished with 2 coats Polyurethane Satin.

FLUSH DOORS One coat of sealer, one coat of approved undercoat followed by one coat of semigloss/fullgloss white.

WARDROBES Interior two coats acrylic paint.

7.03 WALLPAPER:

A provisional sum will normally be included within the contract price for the supply of wallpaper.

Wallpaper is to be selected by the Employer at the location nominated on Page 2 of the Specifications.

If wallpaper to a lesser or greater value than the Provisional Sum is selected, then the difference plus any additional costs for hanging will be adjusted against the allowance above.

"Sale" papers may be defective and the Contractor will not hang "sale" wallpapers if they are selected by the Employer. Where wallpaper is hung by the Employer the contractor will not be responsible for minor repairs to wall stopping which is the responsibility of the paperhanger before proceeding with hanging.

8.00 INSPECTION OF HOUSE BEFORE DELIVERY

Homes are completed in every detail at the assembly yards of the Contractors as per the specification 1.00 to and including 7.03. It is the Employer's responsibility within three days of being requested by the Contractor, and at least 24 hours before scheduled delivery to inspect the "Pre-built" building before delivery to the site and advise the Contractor in writing of any incorrect colour scheme, or any visible omission or deviation from the plans, specifications and authorised variations to Contract and the Contractor shall be liable to remedy all such items so advised.

9.00 SITE CARPENTRY AND JOINERY

9.01 SITE:

Preparation and clearing of the site including all vegetation from where the house is to be placed is the responsibility of the Employer.

The Employer must peg the actual house position and flag the boundary pegs. No allowance has been made in the Contract Price for surveyors charges.

The Employer is responsible to flag any obstacles such as underground tanks and services which the Contractor must take care to avoid.

The Contractor will not be responsible for constructing the building on the wrong section, too near or over a boundary if positioned according to the stakes which the Contractor will assume are as per the site plan.

NOTE: As is normal with house construction a certain amount of damage will occur to the site through the movement of vehicles, plant and equipment. The damage sustained will vary from time to time because of weather conditions, but reasonable care will be taken at all time to ensure that damage is kept to a minimum.

- 9.02 ROCK, FROZEN GROUND: No allowance has been made for excavation and removal of rock or excavation in frozen ground. Any encountered in foundation work, drainage, or any other underground work will be removed at cost plus 15% Contractors Margin.
- 9.03 SUBSTANDARD GROUND: No allowance has been made for any extra work required by Local Body or institutional inspectors, should fill or substandard bearing ground be encountered. Any extra work required including consulting engineers fees will be carried out at cost plus 15% Contractors Margin. If such a situation does arise the Employer agrees to either accept the Contractor's variation for extras or arrange for the work to be done within seven days in order not to delay completion of the Contract.
- 9.04 BASE HEIGHTS: House will be delivered to the Purchaser's site, level and plumb:
Either: (a) Placed as low as possible to ground, but no lower than 300mm from underside of bearer to ground (crawl space) at any point. An allowance has been made for a slightly sloping site and any base heights over 1200mm from ground level to underside of floor will be charged as an extra.
or: (b) To maximum base heights as shown on plans from underside of flooring to ground level.
If garage included in contract, then it is Employer's responsibility to level garage site unless specifically stated elsewhere in plans or specifications.
- 9.05 DAMPCOURSE: Where pile is less than 300mm high above ground level a layer of approved dampcourse to be laid between piles (C3 treated) and other timber members.
- 9.06 TIMBER PILES: Pile to min. S.E.D. as shown in Engineers details or "Short Driven" 140 S.E.D. piles treated to N.Z. P.T.A. C2B Retention 13.5 Kg/m³ to centres as shown on Plan. All cuts liberally brushed with creosote or an approved protectorate.
Piles fixed to bearers with 4 Timloks and 2/100 x 3.75 nails, or purpose made joining Plates as shown in Eng. Design.
- 9.07 SUB FLOOR BRACING: Boric treated Pine or Douglas Fir braces of 100 x 100 composite maximum length 4500 positioned as shown on Plans. Fixed with hot dipped galvanised bolts and washers with shafts coated with multipurpose grease, or as per J. Reelick Engineers design.
- 9.08 CONCRETE FOOTINGS TO PILES: Ground holes for piles to a maximum depth and size as detailed in Plans.
- 9.09 BASE SHEATHING & VENTILATION: Base of building as per 9.04 to be sheathed as specified on Page 2.
6.00mm flat Hardiflex supported by 75 x 50 Boric Treated Pine walings to piles and nogged as necessary.
All joins and corners covered by P.V.C. jointer.
VENTILATION: Area of ventilation exceeds that required in 4.1.2 - Ventilation to sub floor provided as specified in 4.1.2 (c) by a floor joist cantilever of 225mm with verminproof netting fixed to underside of exposed joists.
BASE DOOR: Max. height up to 2000mm with Gal. Padbolt.
- 9.10 LANDING & DECKS: 100mm x 40mm Tanalised Pine decking timber fitted to tanalised joists with galv. jolt head nails.
- 9.11 STEPS: Refer Page 2 for details. Precast-concrete treads with exposed aggregate surface on galvanised steel strings.
Wooden - Tanalised Pine risers, strings & treads.
- 9.12 HANDRAIL: As per plan sheet attached, refer Page 2 for type.
- 9.13 FLOOR SANDING: In Yard and prior to delivery, all floors to be treated with electric sanding machine with a standard cut.
Note: 1. This is not suitable for Polyurethane.
2. Where Clause 7.02 is deleted (interior painting) Clause 9.13 floor sanding is to be undertaken by the Employer.
- 9.14 VINYL FLOORING: 1.5mm foam vinyl sheet flooring fixed with approved proprietary adhesive and well rolled to be laid in rooms as specified on Page 2.
- 9.15 CARPET: Fitted wall to wall over 2.7Kg (6 lb) underfelt or equivalent backing and securely nailed around all edges after suitable stretching and fitting. Where carpet joins vinyl flooring as per 9.14 metal edging strips will be fitted. Carpet to be fitted to rooms as specified on Page 2.
- 10.00 SITE PLUMBING
- 10.01 WASTE PIPES: Carry waste pipes from fittings to gulley traps in 32mm P.V.C. pipe with all necessary bends, supports etc, to conform with governing regulations or by-laws.
- 10.02 Extend downpipes down from floor level to connect with drainage fittings or to water supply tank.

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For & Behalf of Contractor

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Employer

10.03 WATER SUPPLY

From Source to House in 12mm alkathene or 15mm QEST Dux.
Polybutylene piping.

Owner to obtain meter or Local Authority connection or alternative water supply, and to be responsible for ensuring it is available and flagged prior to construction commencing.

11.00 DRAINAGE

Install complete sanitary and stormwater drainage system in accordance with best trade practice. No allowance has been made for any special requirements required by the Local Authority if contrary to normal trade practice. As part of the requirements of the plumbing and drainage permit all sanitary and stormwater drainage is subject to inspections and approval by the governing Local Authority.

No allowance has been made to cart away from the site any surplus spoil from drainage or contract work and this will be left in a heap or spread over drains and surrounding areas, unless the contract or specifications instruct otherwise.

12.00 SITE ELECTRICAL

12.01 ELECTRICAL MAINS: Connect from main switchboard to power point of entry on house. Single phase.

12.02 EARTHING & BONDING: To be carried out to Power Board requirements.

12.03 POWER BOARD CONNECTIONS:

Application for new account to be made by Employer and any Bond required by local Power Authority to be paid by Employer.

Power connection from road frontage.. Refer Page 2 as to whether this is by Employer or Contractor.

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For & Behalf of Contractor

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Employer